

QUALIFICATION CRITERIA

This checklist only applies to a residential project that:

- Tract Size less than 15,000 sq. ft.
- Has less than 65% impervious cover
- Is not subdivided from the original tract, and
- Does not use a shared driveway

For other types of residential projects, please refer to the [Infrastructure Design Manual](#) (IDM).

Note: Properties that are part of a subdivision do not qualify for 65% impervious cover exemption.

See Figure 1 and Figure 2 for examples of drainage plans. Both figures do not reflect project specific data thus may not contain all required information. They are to be used as a guide in conjunction with this checklist.

Replat of a lot larger than 15,000 sq. ft. into multiple lots less than 15,000 sq. ft. does not qualify for exemption to 65% impervious cover.

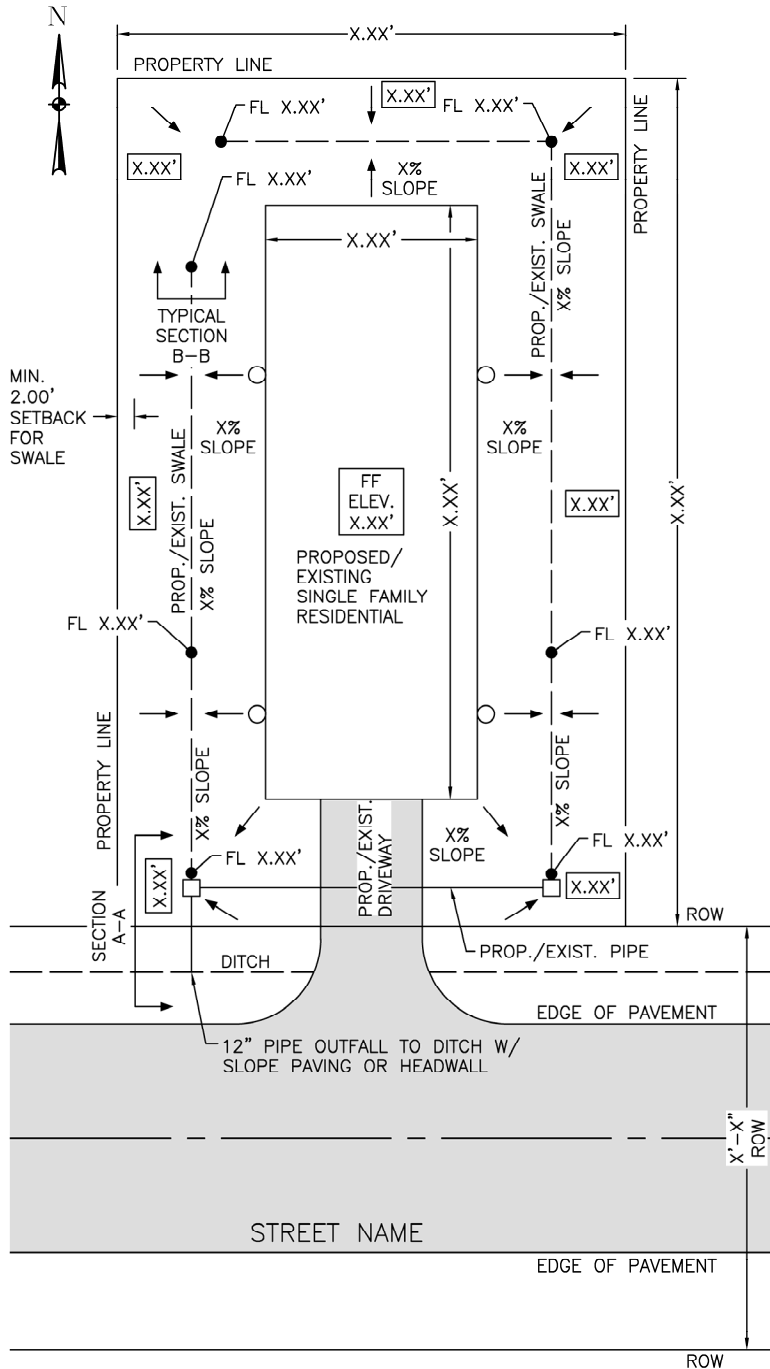
DOCUMENTS

	Item description	Sheet No./Location
<input type="checkbox"/>	Stormwater Information Form (OCE-0004): Complete one form per project. Supporting documentation: Recorded Deed, Tax Account Printout, and Survey/Recorded Plat. Plans must breakdown impervious cover per lot	
<input type="checkbox"/>	Grading Permit for Excavation and Fill Worksheet (CE-1094): Documentation and/or permits as required by worksheet	
<input type="checkbox"/>	Outfall approval (if applicable): Upload approval from the outside agency if outfall is in their jurisdiction (ex: HCFCD or TxDOT)	
<input type="checkbox"/>	Easement approval (if applicable): For construction in the easement, approval is required from the owner of the easement. If the City of Houston is the owner, obtain an encroachment permit.	

DESIGN ELEMENTS

	Item description	Sheet No./Location
<input type="checkbox"/>	Property in 100-year or 500-year floodplain: Storm cannot approve review until Floodplain Management Office has approved their review.	
<input type="checkbox"/>	Replat for multiple lots: Must be approved and sealed by the Houston Planning Commission.	
<input type="checkbox"/>	Topographic survey: Required for any drainage plan. Actual topo is preferred, but elevations relative to a base benchmark is acceptable.	
<input type="checkbox"/>	Label all "existing", "proposed" and "to be permitted separately" impervious surfaces.	
<input type="checkbox"/>	Show all internal drainage, including but not limited to: <ul style="list-style-type: none"> • Pipes: flowline elevations, material, slope, distance of run, and size • Inlets/Manholes/Junction Box/Cleanouts: size, flowline elevations, details 	
<input type="checkbox"/>	Roof Drainage: Downspouts and gutters required for all roof drainage. Show connection to on-site drainage system. Water cannot flow onto a neighboring property. Additional design criteria may apply for homes very close to the property line.	

	Item description	Sheet No./Location
□	Grading <ul style="list-style-type: none"> • Show spot elevations every 20 feet around the perimeter to indicate area drained to each inlet or drainage structure. Slope grading is acceptable where applicable. • Illustrate clearly that grading does not result in draining any part of the area onto adjacent private property or piped to an unapproved location. • Show perimeter of property. • Sheet flow direction within the private property. • No sheet flow allowed to adjacent property or right-of-way. • Engineered Grading Plan is required if grading exceeds 1,000 cubic yards. 	
□	Swales: Minimum 2-foot setback from the top cut or high bank. When swale is used for conveyance only, add the following note: “Swale will not be compacted after excavation and will be sod back.” Show flowline elevations, cross section, and dimensions.	
□	Storm Outfall <ul style="list-style-type: none"> • Single-family residential lots with front loading right-of-way <ul style="list-style-type: none"> ○ Ditch (12-inch schedule 40 pipe): Headwall protection, Cross Sectional View, dimension, elevations ○ Curb (4-inch schedule 40 pipe w/ curb cut): Cross Sectional View / Callout on plans • All other situations or connections: <ul style="list-style-type: none"> ○ Submit a Plan and Profile prepared by a Professional Engineer to the Office of the City Engineer for review and approval. • No alleyway connection allowed. 	
□	Proposed Driveway Culvert: Minimum 24-inch pipe. Converting a ditch to a parking pad is not allowed.	
□	Low-impact development (LID) techniques (if applicable): Full compliance with IDM. Provide Details, Design and Geotechnical Report. Storm Water Quality Permit is required.	
□	Swimming Pools (if applicable): Pool deck drainage must be directed to storm system. Add the following note on plans: “Pipes carrying wastewater from swimming or wading pools, including pool drainage and backwash from filters, shall be installed as an indirect waste. Where a pump is used to discharge waste pool water to the drainage system, the pump discharge shall be installed as an indirect waste.”	
□	Note on plans: Add “Owner is responsible for maintenance of drainage facilities within private property”.	



NOTE

1. SHADING NOT REQUIRED, SHOWN ONLY FOR CLARITY.
2. A DESIGN WITH A COMBINATION OF PIPES AND SWALES IS ACCEPTABLE.

LEGEND

- INLET/YARD DRAIN
- DOWN SPOUT (LOCATION PER IBC CODE)
- SHEET FLOW DIRECTION
- X.XX' NATURAL GROUND SPOT ELEVATION
- FL FLOWLINE
- FF FINISHED FLOOR
- ROW RIGHT-OF-WAY
- TG TOP OF GRATE
- PROP. PROPOSED
- EXIST. EXISTING
- ELEV. ELEVATION
- FLOW LINE ELEVATION LOCATION

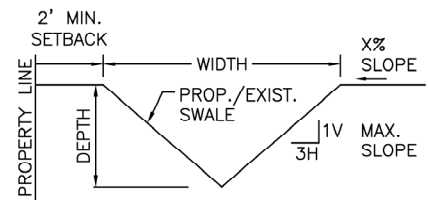
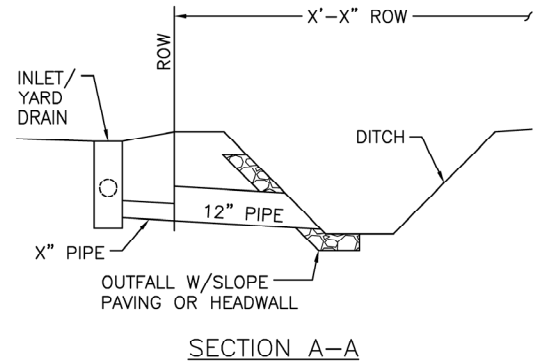


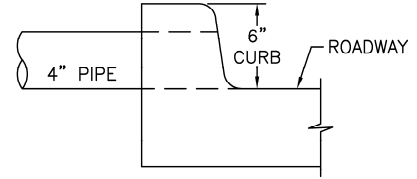
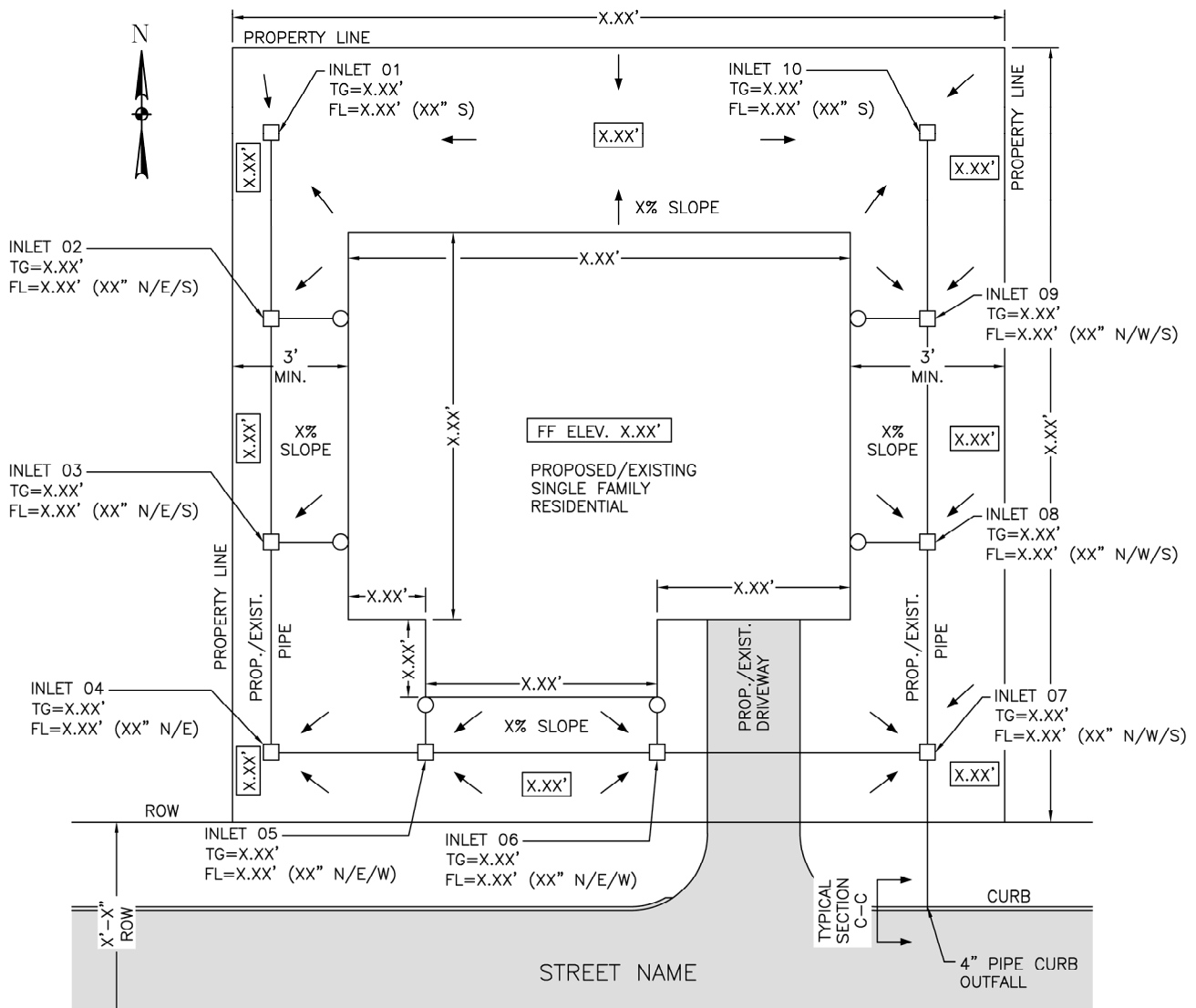
FIGURE 1

LEGEND

- INLET/YARD DRAIN
- DOWN SPOUT (LOCATION PER IBC CODE)
- SHEET FLOW DIRECTION
- [X.XX'] NATURAL GROUND SPOT ELEVATION
- FL FLOWLINE
- FF FINISHED FLOOR
- ROW RIGHT-OF-WAY
- TG TOP OF GRATE
- PROP. PROPOSED
- EXIST. EXISTING
- ELEV. ELEVATION

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TYPICAL SECTION C-C

FIGURE 2