



IMPORTANT NOTICE

Additional Plan Review Requirements Coming Soon

REVISED JUNE 6, 2016

Beginning June 6, 2012 all new construction plans will require the following items to be clearly identified on the site plan to demonstrate foundation elevation compliance.

ONE AND TWO FAMILY PROJECTS

The finish floor elevation shall be 12 inches above the nearest sanitary sewer manhole or 4 inches above crown of the street when allowed. (Ref. IRC Section R401.5)

***NOTE:** When the City Flood Plain Ordinance requires a greater elevation, that elevation shall be required.

Lots shall be graded to provide a positive drainage path away from foundations. The fall shall be a minimum 6 inches in the first 10 feet (5% slope). The site plan shall depict the slopes. (R401.3)

-or- **Exception:** *If a swale or drain is used due to a physical barrier or lot line, the plans must indicate the positive drainage details. Impervious surfaces within 10 feet of the building foundation shall be sloped a minimum of 2% away from the building. (R401.3)*

On graded sites, the foundation shall extend above the gutter or drainage device a minimum of 12 inches plus 2%. (R403.1.7.3)

NOTE: Most sites require grading.

Please see attached Dwg. No. 15-01-R for a residential example. Any deviations of slope must be approved by the Building Official or designee.

COMMERCIAL PROJECTS

The finish floor elevation shall be 12 inches above the nearest sanitary sewer manhole or 4 inches above crown of the street when allowed. (Ref. IBC Section 512)

***NOTE:** When the City Flood Plain Ordinance requires a greater elevation, that elevation shall be required.

The ground immediately adjacent to the foundation shall be sloped away from the building at a 5% slope for a minimum distance of 10 feet measured perpendicular to the face of the wall. (IBC 1804.3)

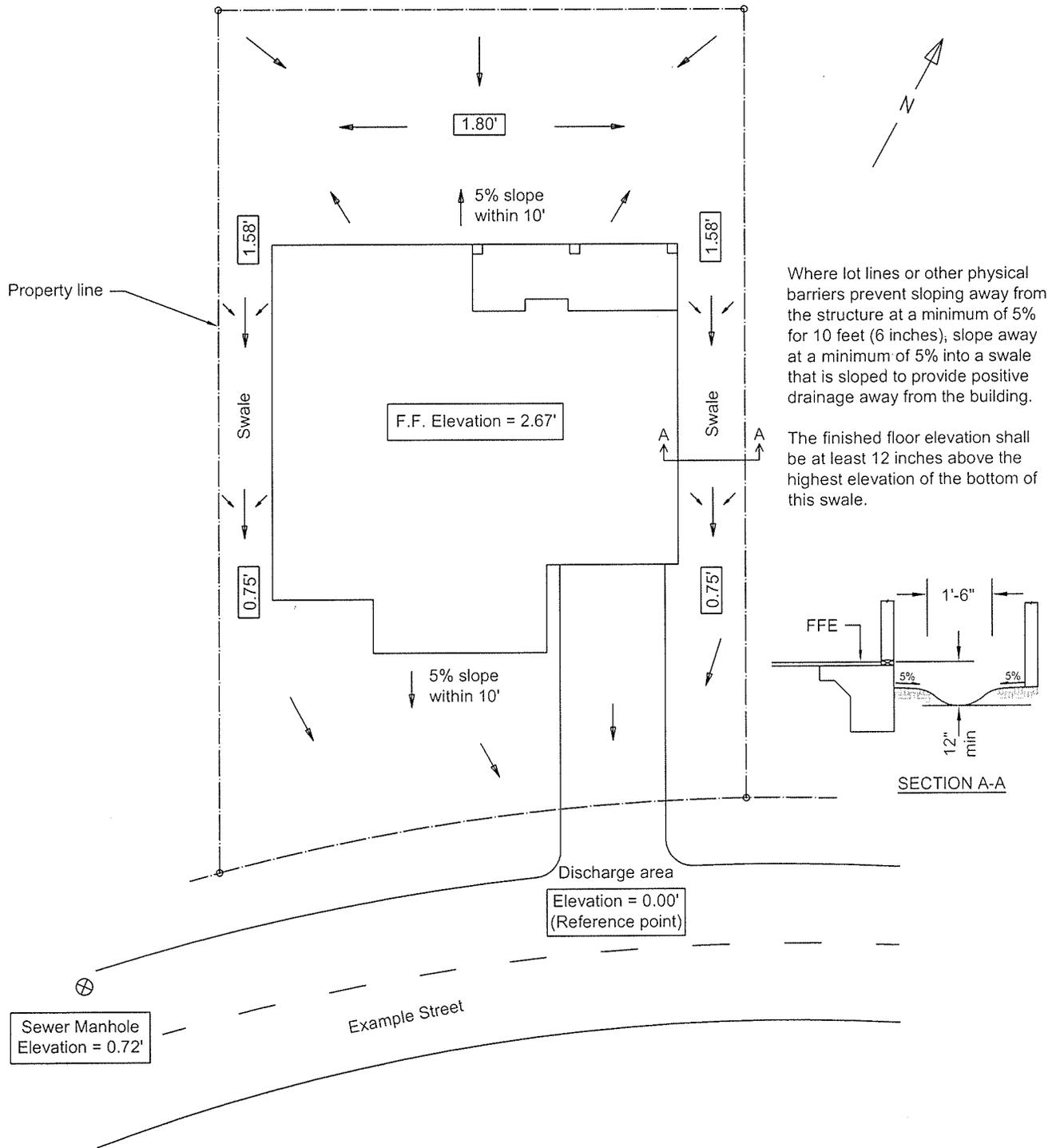
-or- **Exception:** *If physical obstructions or lot lines prohibit 10 feet of horizontal distance, a 5 % slope shall be provided to an approved alternative method of diverting water away from the foundation. Swales used for this purpose shall be sloped a minimum of 2% where located within 10 feet of the building foundation. (IBC 1804.3)*

Impervious surfaces within 10 feet of the building foundation shall be sloped a minimum of 2% away from the building. (IBC 1804.3)

On graded sites, the foundation shall extend above the gutter or drainage device a minimum of 12 inches plus 2%. (IBC 1808.7.4) **NOTE:** Most sites require grading.

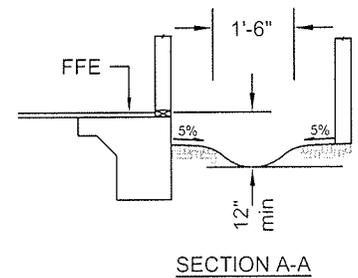
This is just an example, you will need to submit your own site plan. Choose a low point to be your reference point (typically the point on the street in front of your driveway, or any other point where storm water will be directed). Label that point as Elevation 0.00, and set the elevations of various points around your property such that water will drain toward the reference point.

No surveying is required.



Where lot lines or other physical barriers prevent sloping away from the structure at a minimum of 5% for 10 feet (6 inches), slope away at a minimum of 5% into a swale that is sloped to provide positive drainage away from the building.

The finished floor elevation shall be at least 12 inches above the highest elevation of the bottom of this swale.



STANDARD DRAWING
CITY OF HOUSTON
 DEPARTMENT OF PUBLIC
 WORKS & ENGINEERING

RESIDENTIAL DRAINAGE PLAN
 EXAMPLE
 1002 WASHINGTON AVE., HOUSTON, TEXAS 77002

APPROVED BY

 BUILDING OFFICIAL
 DATE: 6 / 5 / 2015
 DWG No: 15-01-R
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